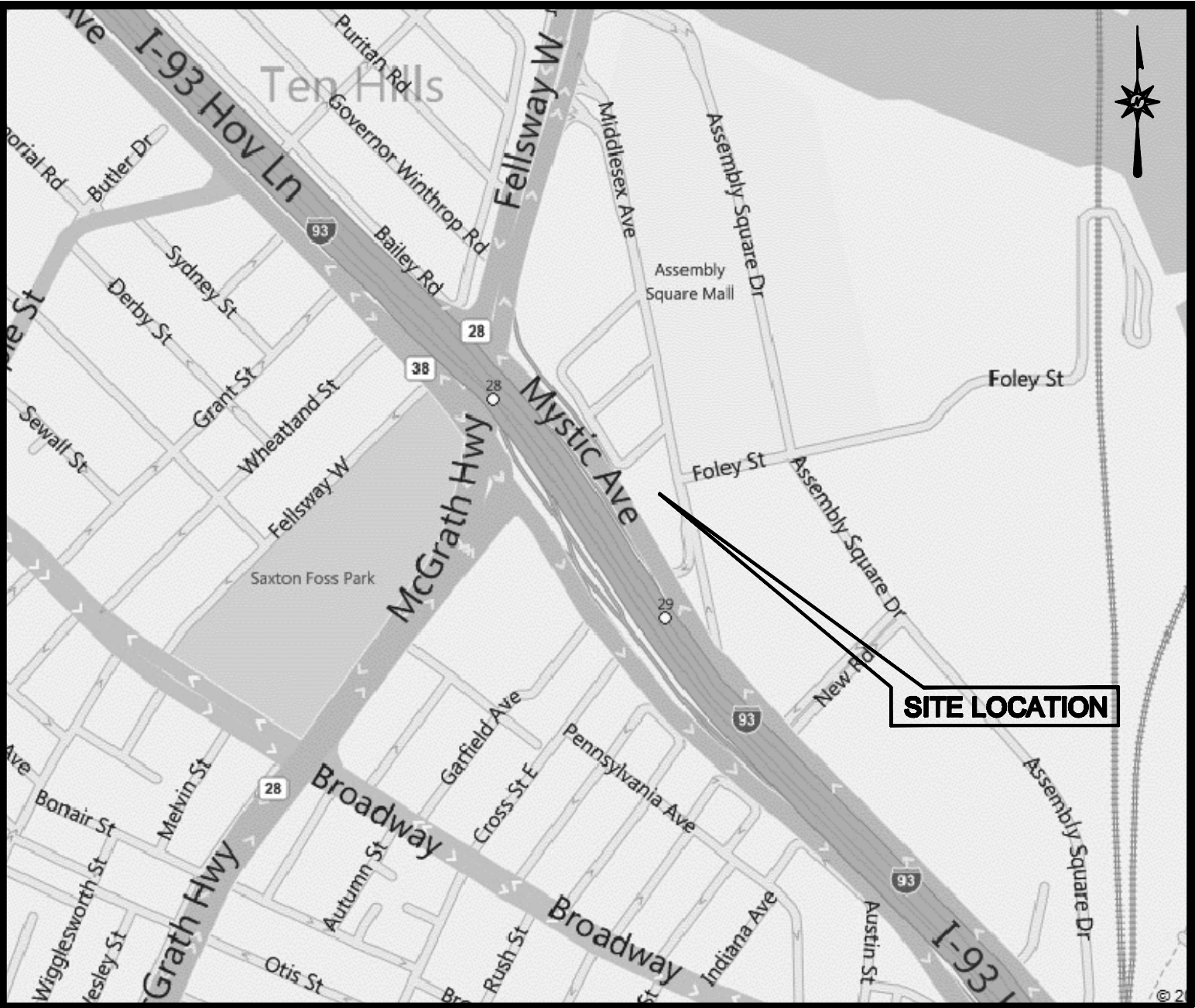




LOCATION MAP
N.T.S.

PRELIMINARY MASTER PLAN: PLANNED UNIT DEVELOPMENT PROPOSED MIXED USE DEVELOPMENT WITH CLIMATE- CONTROLLED STORAGE FACILITY

50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS

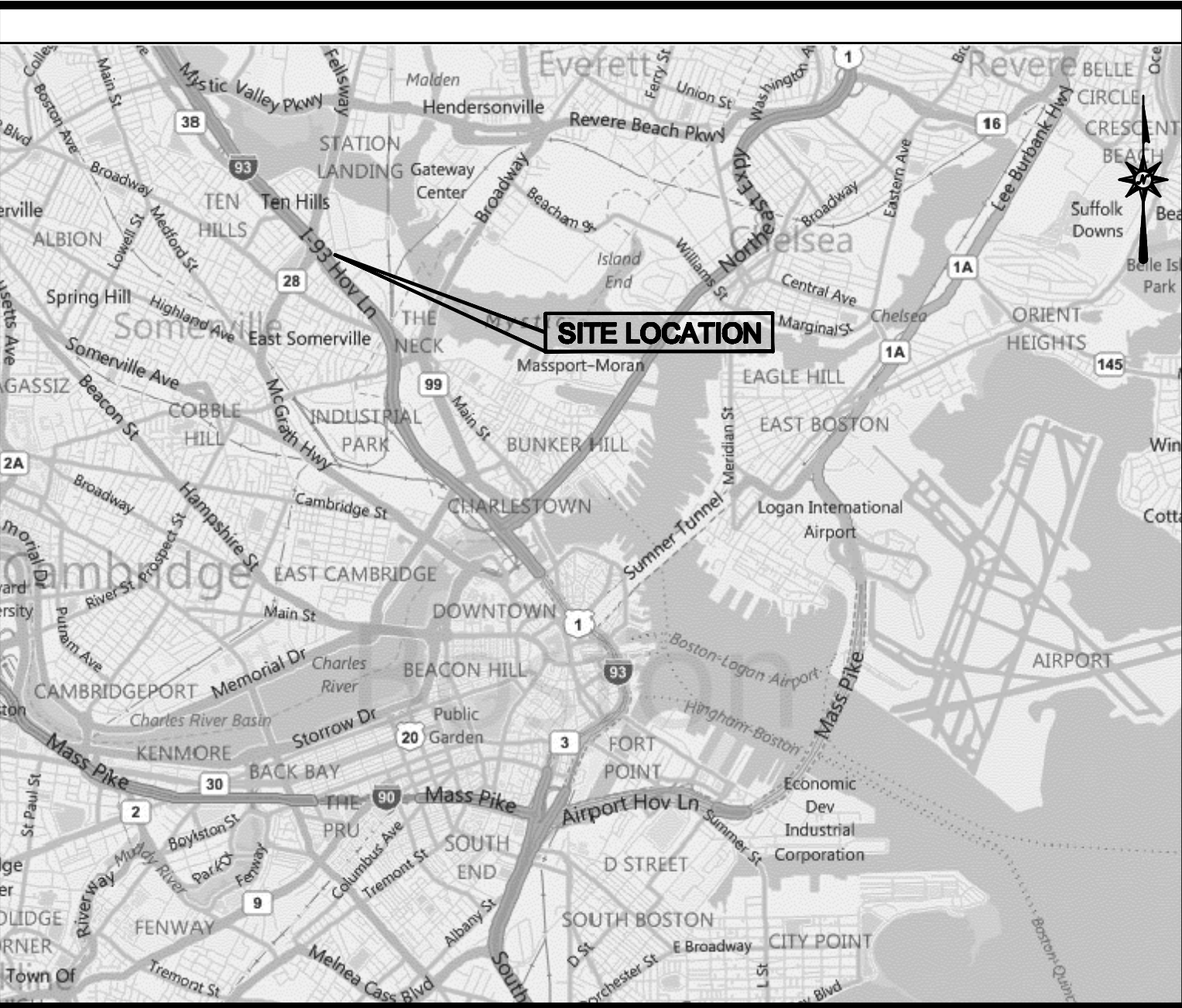
PREPARED FOR:
SSG DEVELOPMENT, LLC
651 WASHINGTON STREET, SUITE 200
BROOKLINE, MASSACHUSETTS
02446-4579

PREPARED BY:



ARCHITECTURE ENGINEERING PLANNING LANDSCAPE ARCHITECTURE
LAND SURVEYING ENVIRONMENTAL SCIENCES

355 RESEARCH PARKWAY
MERIDEN, CONNECTICUT 06450
(203) 630-1406
(203) 630-2615 Fax



VICINITY MAP
SCALE: 1"=800'

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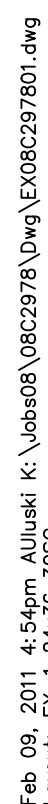
OWNER:
MR. DAVE FULTON
SSG DEVELOPMENT, LLC
651 WASHINGTON STREET, SUITE 200
BROOKLINE, MASSACHUSETTS 02446
OFFICE: (617) 938-6478 X202
FAX: (617) 278-1552

DATES

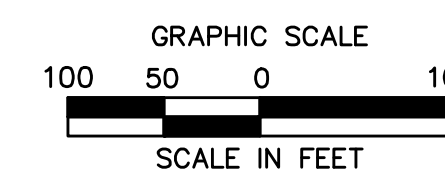
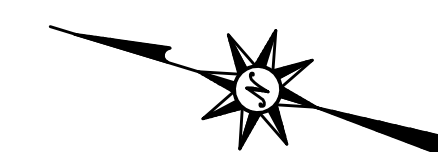
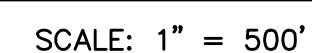
ISSUE DATE: FEBRUARY 7, 2011



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

EX-1

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PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

No.	REVISIONS		Desc.
	Date		
Designed		G.F.	
Drawn		A.B.L.	
Checked			
Approved			
Scale		1"=100'	
Project No.		08C29780	
Date		2/7/78	
CAD File		CM08C29780	

Title
**CONTEXT
MAP**

Sheet No. _____

CM-1

ZONING INFORMATION

LOCATION: SOMERVILLE, MASSACHUSETTS				
ZONE: ASSEMBLY SQUARE MIXED USE DISTRICT				
USE: (PERMITTED USE) SELF STORAGE FACILITY				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE/ WAIVER
1	MINIMUM LOT AREA	20,000 S.F.	49,147 S.F. 1.128 ACRES	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	355 FEET	NO
3	MINIMUM LOT DEPTH	NONE REQUIRED	125 FEET	NO
4	MINIMUM FRONT SETBACK	0 FEET	0 FEET	NO
5	MINIMUM SIDE SETBACK	0 FEET	0 FEET / 80.4 FEET	NO
6	MINIMUM REAR SETBACK	0 FEET	7.2 FEET	NO
7	MAXIMUM BUILDING HEIGHT	125 FEET	70 FEET/80 FEET *	NO
8	MAXIMUM BUILDING COVERAGE	NONE REQUIRED	49 PERCENT	NO
9	FLOOR AREA RATIO	10	2.20**	NO
10	OPEN SPACE REQUIREMENT	25 PERCENT	33.42 PERCENT	NO
11	USEABLE OPEN SPACE REQUIREMENT	12.5 PERCENT	27.86 PERCENT	NO

* BUILDING HEIGHT IS 70 FEET TO THE ROOFTOP AND 80 FEET TO THE TOP OF THE UNINHABITABLE TOWER.
** FLOOR AREA RATIO IS BASED ON NET FLOOR AREA. THE NET FLOOR AREA IS CALCULATED AS 80% OF THE GROSS FLOOR AREA. SINCE THE GROSS AREA IS 135,295 S.F., THEN THE NET AREA IS 108,236 S.F.

PARKING INFORMATION

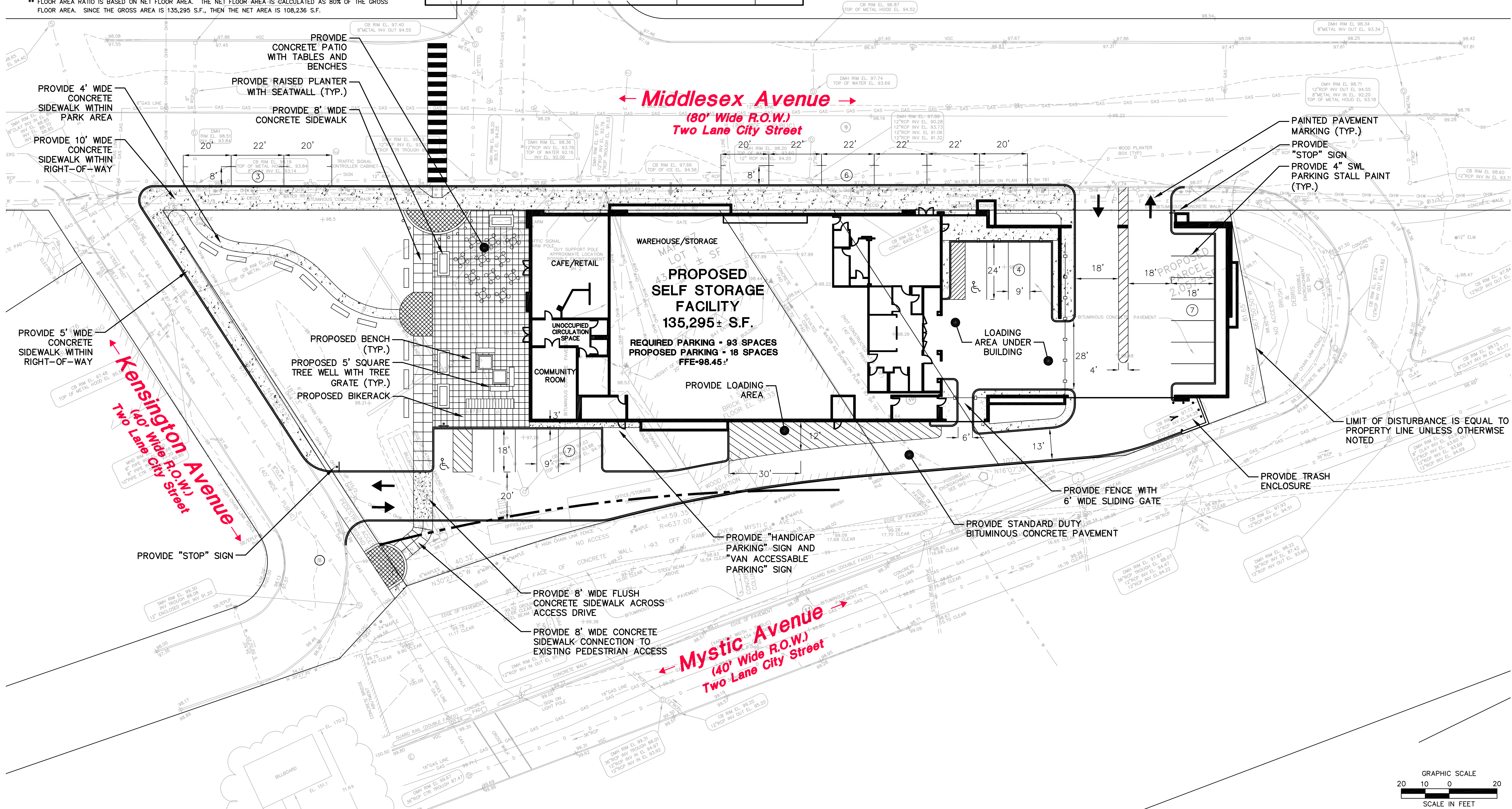
ITEM #	ITEM	REQUIREMENTS	PROPOSED	
1	BUILDING SIZE	NONE REQUIRED	135,295 S.F.	NO
2	PARKING REQUIRED BY CITY (ON-SITE)	1 SPACE PER EVERY 500 SF OF RESTAURANTS (3 SPACES) 1 SPACE PER EVERY 500 SF OF ALL OTHER PERMITTED USES (COMMUNITY ROOM-2 SPACE) 1 SPACE PER EVERY 1500 SF OF WAREHOUSE (89 SPACES) UNOCCUPIED CIRCULATION SPACE (NO PARKING)	1,498 SF RESTAURANT (3 SPACES) 623 SF ALL OTHER PERMITTED USES (2 SPACE) 132,517 SF WAREHOUSE (14 SPACES) 657 SF UNOCCUPIED CIRCULATION SPACE (NO PARKING)	YES
3	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	NO
4	MINIMUM DRIVEWAY WIDTH	8 FEET MIN. FOR ONE-WAY 18 FEET MIN. FOR TWO-WAY 30 FEET MAX. FOR TWO-WAY	13 FEET FOR ONE-WAY	NO
5	MINIMUM AISLE WIDTH	20 FEET FOR ONE-WAY 20 FEET FOR TWO-WAY	20 FEET FOR ONE-WAY 20 FEET FOR TWO-WAY	NO
6	MINIMUM FRONT SETBACK	NONE REQUIRED	10 FEET	NO
7	MINIMUM SIDE SETBACK	NONE REQUIRED	8 FEET	NO
8	MINIMUM REAR SETBACK	NONE REQUIRED	15 FEET	NO
9	MINIMUM INTERIOR LANDSCAPING	NONE REQUIRED (LESS THAN 20 SPACES)	N/A	NO
10	LOADING SPACE DIMENSIONS	12 FEET X 30 FEET	12 FEET X 30 FEET	NO

FLOOR AREA

FLOOR	SQUARE FOOTAGE AREA
1	15,045 S.F.
2	24,050 S.F.
3	24,050 S.F.
4	24,050 S.F.
5	24,050 S.F.
6	24,050 S.F.

NOTES:

1. THE EXISTING SITE IS ENTIRELY IMPERVIOUS. THE IMPERVIOUS SURFACE FOR THE PROPOSED SITE HAS BEEN REDUCED BY 22.05%, WHICH EQUATES TO 10,836 S.F. OF PROPOSED PERVIOUS SURFACE.



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
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PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS	Desc.
No.	Date
Designed	A.B.U.
Drawn	A.B.U.
Checked	
Approved	
Scale	1"=30'
Project No.	08C2978
Date	2/7/11
CAD File:	SP08C297801
Title	SITE PLAN

ZONING INFORMATION

LOCATION: SOMERVILLE, MASSACHUSETTS				
ZONE: ASSEMBLY SQUARE MIXED USE DISTRICT				
USE: (PERMITTED USE) SELF STORAGE FACILITY				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE/ WAIVER
1	MINIMUM LOT AREA	20,000 S.F.	49,147 S.F. 1.128 ACRES	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	355 FEET	NO
3	MINIMUM LOT DEPTH	NONE REQUIRED	125 FEET	NO
4	MINIMUM FRONT SETBACK	0 FEET	0 FEET	NO
5	MINIMUM SIDE SETBACK	0 FEET	0 FEET / 80.4 FEET	NO
6	MINIMUM REAR SETBACK	0 FEET	7.2 FEET	NO
7	MAXIMUM BUILDING HEIGHT	125 FEET	70 FEET/80 FEET *	NO
8	MAXIMUM BUILDING COVERAGE	NONE REQUIRED	49 PERCENT	NO
9	FLOOR AREA RATIO	10	2.20**	NO
10	OPEN SPACE REQUIREMENT	25 PERCENT	33.42 PERCENT	NO
11	USEABLE OPEN SPACE REQUIREMENT	12.5 PERCENT	27.86 PERCENT	NO

* BUILDING HEIGHT IS 70 FEET TO THE ROOFTOP AND 80 FEET TO THE TOP OF THE UNINHABITABLE TOWER.
** FLOOR AREA RATIO IS BASED ON NET FLOOR AREA. THE NET FLOOR AREA IS CALCULATED AS 80% OF THE GROSS FLOOR AREA. SINCE THE GROSS AREA IS 135,295 S.F., THEN THE NET AREA IS 108,236 S.F.

PARKING INFORMATION

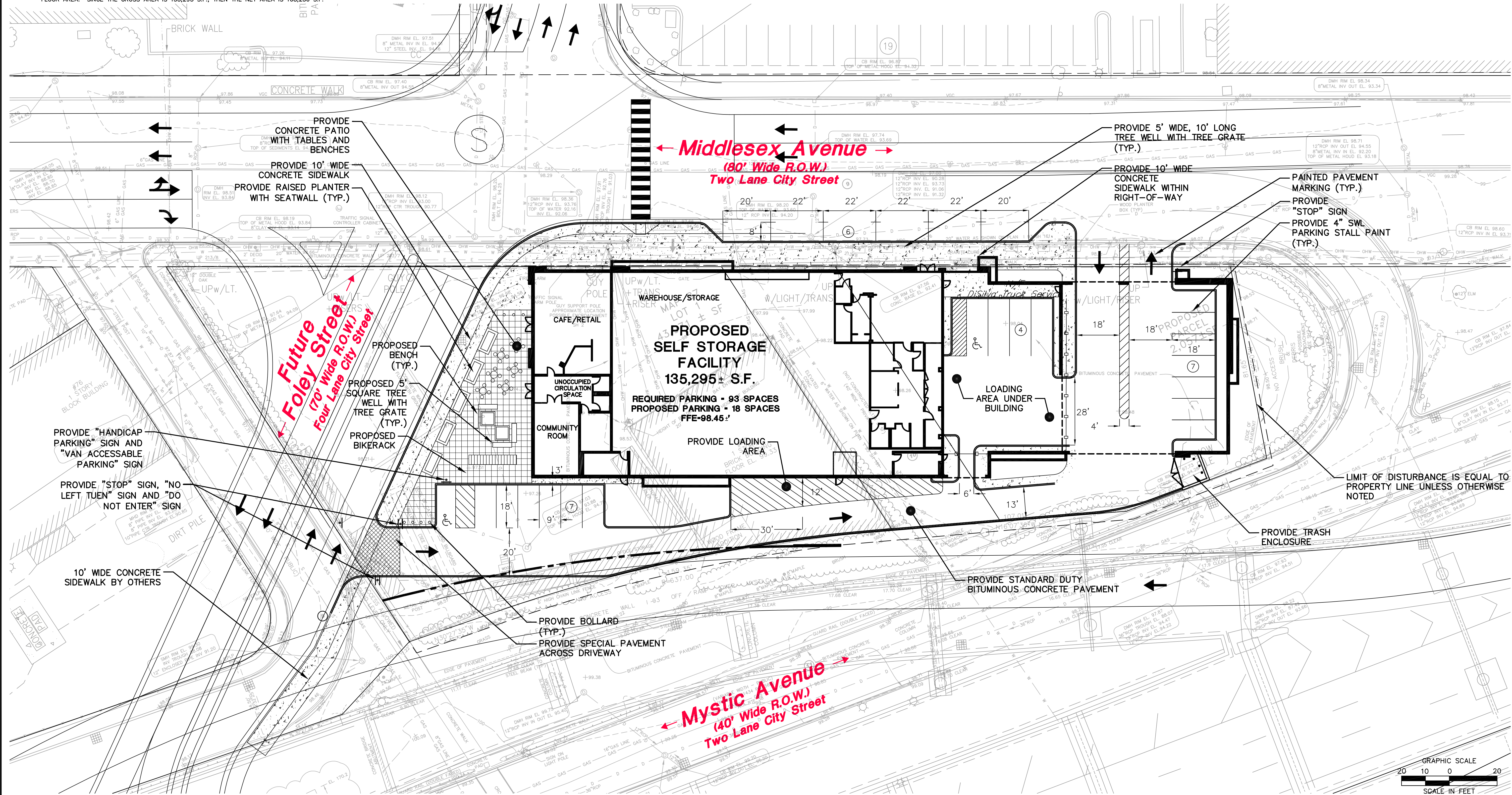
ITEM #	ITEM	REQUIREMENTS	PROPOSED	
1	BUILDING SIZE	NONE REQUIRED	135,295 S.F.	NO
2	PARKING REQUIRED BY CITY (ON-SITE)	1 SPACE PER EVERY 500 SF OF RESTAURANTS (3 SPACES) 1 SPACE PER EVERY 500 SF OF ALL OTHER PERMITTED USES (COMMUNITY ROOM-2 SPACE) 1 SPACE PER EVERY 1500 SF OF WAREHOUSE (89 SPACES) UNOCCUPIED CIRCULATION SPACE (NO PARKING)	1,498 SF RESTAURANT (3 SPACES) 623 SF ALL OTHER PERMITTED USES (2 SPACE) 132,517 SF WAREHOUSE (14 SPACES) 657 SF UNOCCUPIED CIRCULATION SPACE (NO PARKING)	YES
3	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	NO
4	MINIMUM DRIVEWAY WIDTH	8 FEET MIN. FOR ONE-WAY 18 FEET MIN. FOR TWO-WAY 30 FEET MAX. FOR TWO-WAY	13 FEET FOR ONE-WAY	NO
5	MINIMUM AISLE WIDTH	20 FEET FOR ONE-WAY 20 FEET FOR TWO-WAY	20 FEET FOR ONE-WAY 20 FEET FOR TWO-WAY	NO
6	MINIMUM FRONT SETBACK	NONE REQUIRED	10 FEET	NO
7	MINIMUM SIDE SETBACK	NONE REQUIRED	8 FEET	NO
8	MINIMUM REAR SETBACK	NONE REQUIRED	15 FEET	NO
9	MINIMUM INTERIOR LANDSCAPING	NONE REQUIRED (LESS THAN 20 SPACES)	N/A	NO
10	LOADING SPACE DIMENSIONS	12 FEET X 30 FEET	12 FEET X 30 FEET	NO

FLOOR AREA

FLOOR	SQUARE FOOTAGE AREA
1	15,045 S.F.
2	24,050 S.F.
3	24,050 S.F.
4	24,050 S.F.
5	24,050 S.F.
6	24,050 S.F.

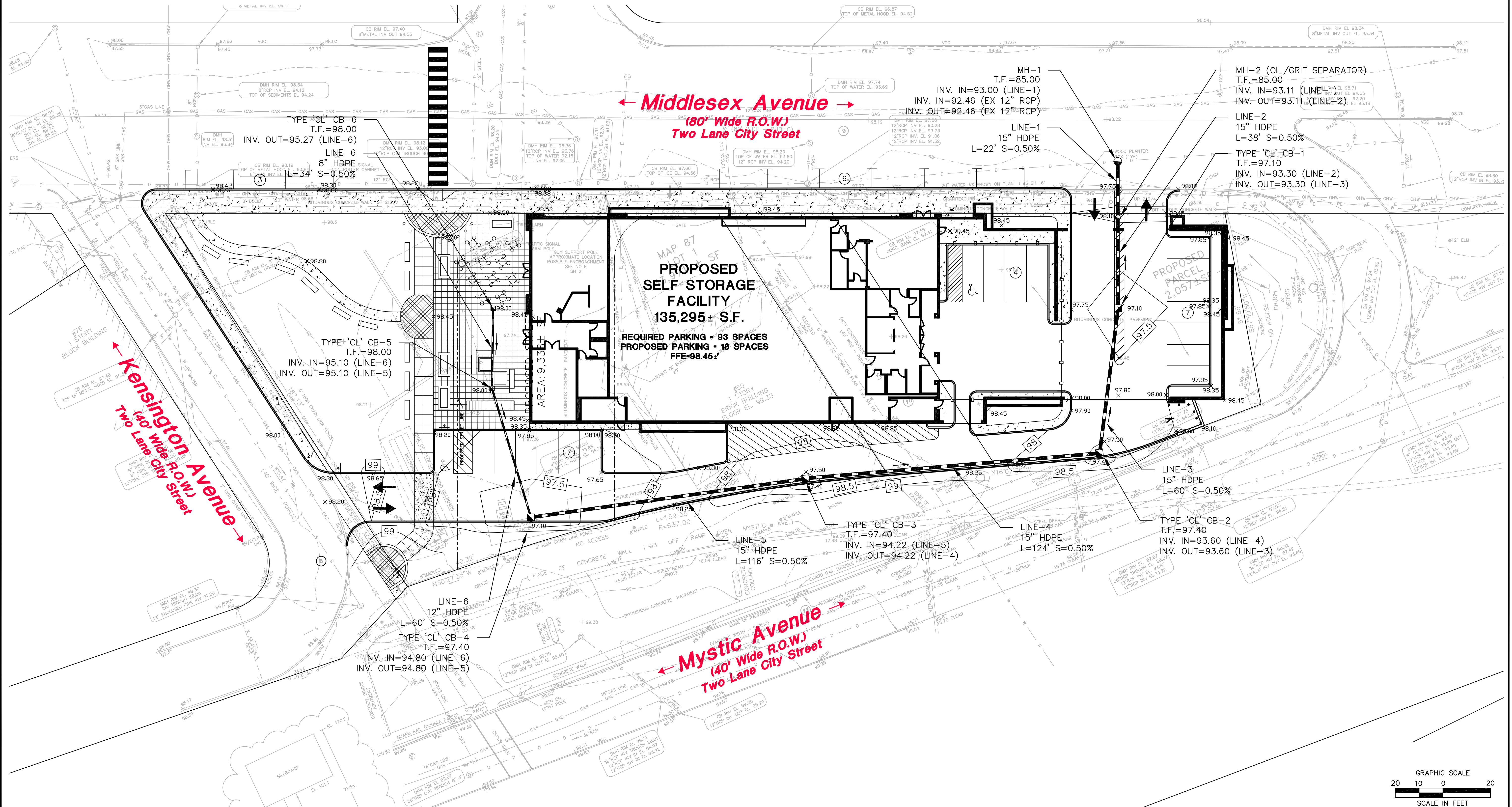
NOTES:

1. THE EXISTING SITE IS ENTIRELY IMPERVIOUS. THE IMPERVIOUS SURFACE FOR THE FAR FUTURE PROPOSED SITE HAS BEEN REDUCED BY 9.29%, WHICH EQUATES TO 4,566 S.F. OF PROPOSED PERVIOUS SURFACE.



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS		Desc.
No.	Date	
Designed		A.B.U.
Drawn		A.B.U.
Checked		
Approved		
Scale		1"=30'
Project No.		08C2978
Date		2/7/11
CAD File:		
G009C297801		
Title		
GRADING AND DRAINAGE PLAN		
Sheet No.		



1. COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
2. POLY VINYL CHLORIDE PIPE (PVC-P) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC-P SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC-P SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS: ASTM-D3231 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. DUCTILE IRON PIPE SHALL CONFORM TO AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A 21.21. INTERFERENCE FITTING SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH MEGALUG RETAINER GLANDS OR WITH RODDING IN ACCORDANCE WITH PROJECT MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2 PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS. 45° ELBOWS (45° MINIMUM) AND OTHER JOINTS SHALL BE RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE. ID STORM PIPE SHALL BE PUSH ON JOINTS WITH RUBBER GASKET.

ELECTRIC LINE		E	E
ELECTRIC PRIMARY		EP	
GAS LINE		G	G
OVERHEAD LINE		OH	OH
TELEPHONE LINE		T	T
WATER LINE		W	W
SANITARY SEWER LINE		S	
SANITARY FORCE MAIN		SFM	
STORM LINE			
CATCH BASIN			
STORM MANHOLE			
SANITARY MANHOLE			
ELECTRIC MANHOLE			
HYDRANT			
TRANSFORMER			98.54
UTILITY POLE			



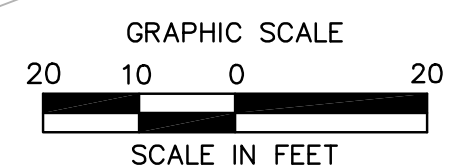
PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

Title

**SITE UTILITIES
PLAN**

Sheet No.

SU-1





LARGE FILTERED SHADE TREE



SPECIAL PAVEMENT



ORNAMENTAL TREE



BIKE RACK



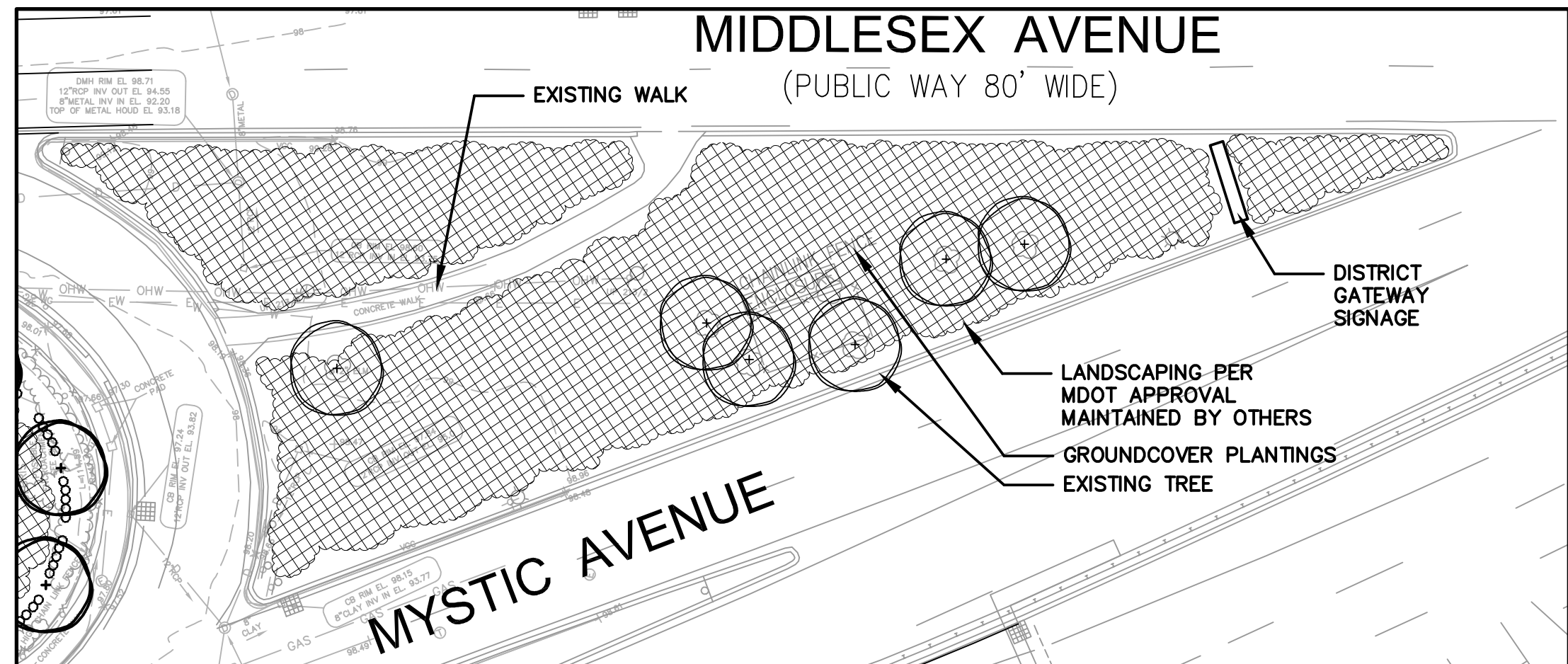
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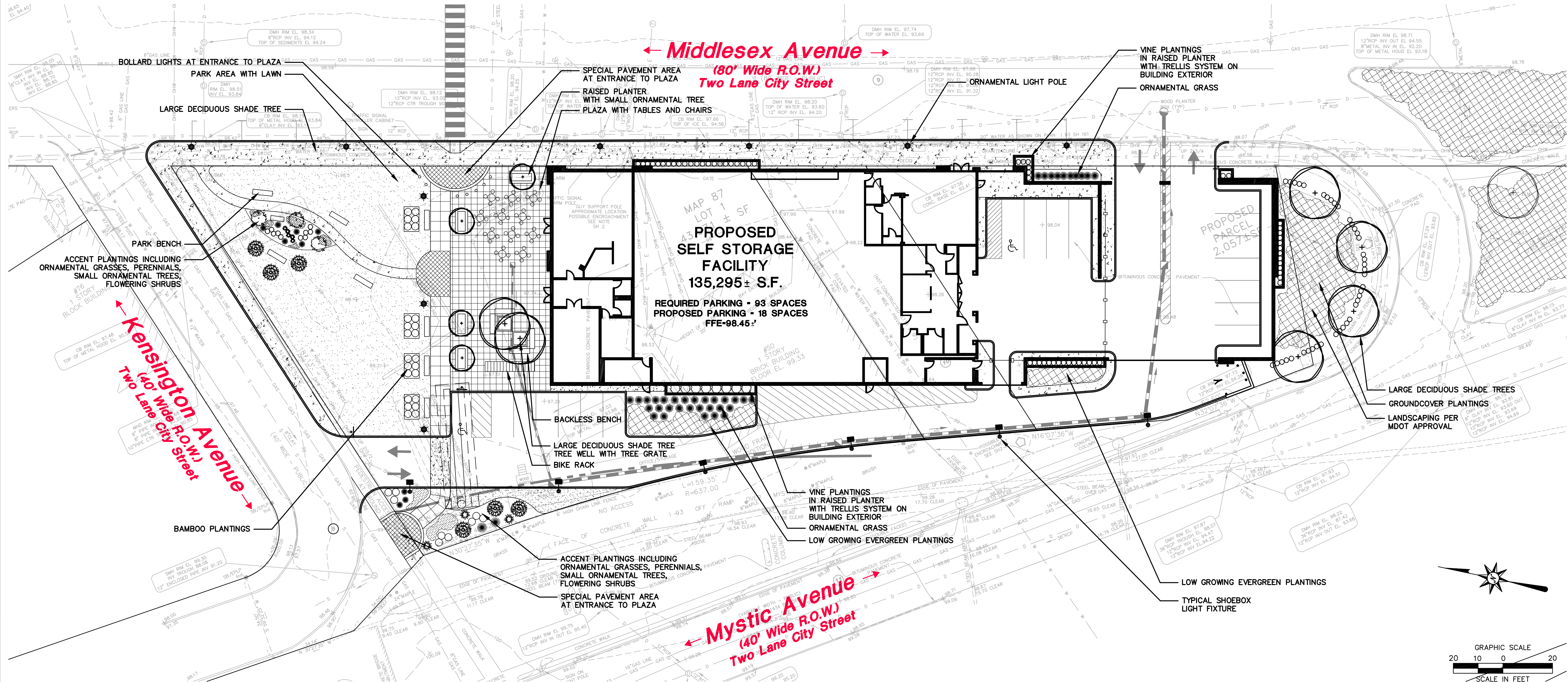
BENCHES



BOLLARDS



GATEWAY SIGNAGE AT INTERSECTION OF MIDDLESEX AVENUE AND MYSTIC AVENUE





ORNAMENTAL LIGHT POLES



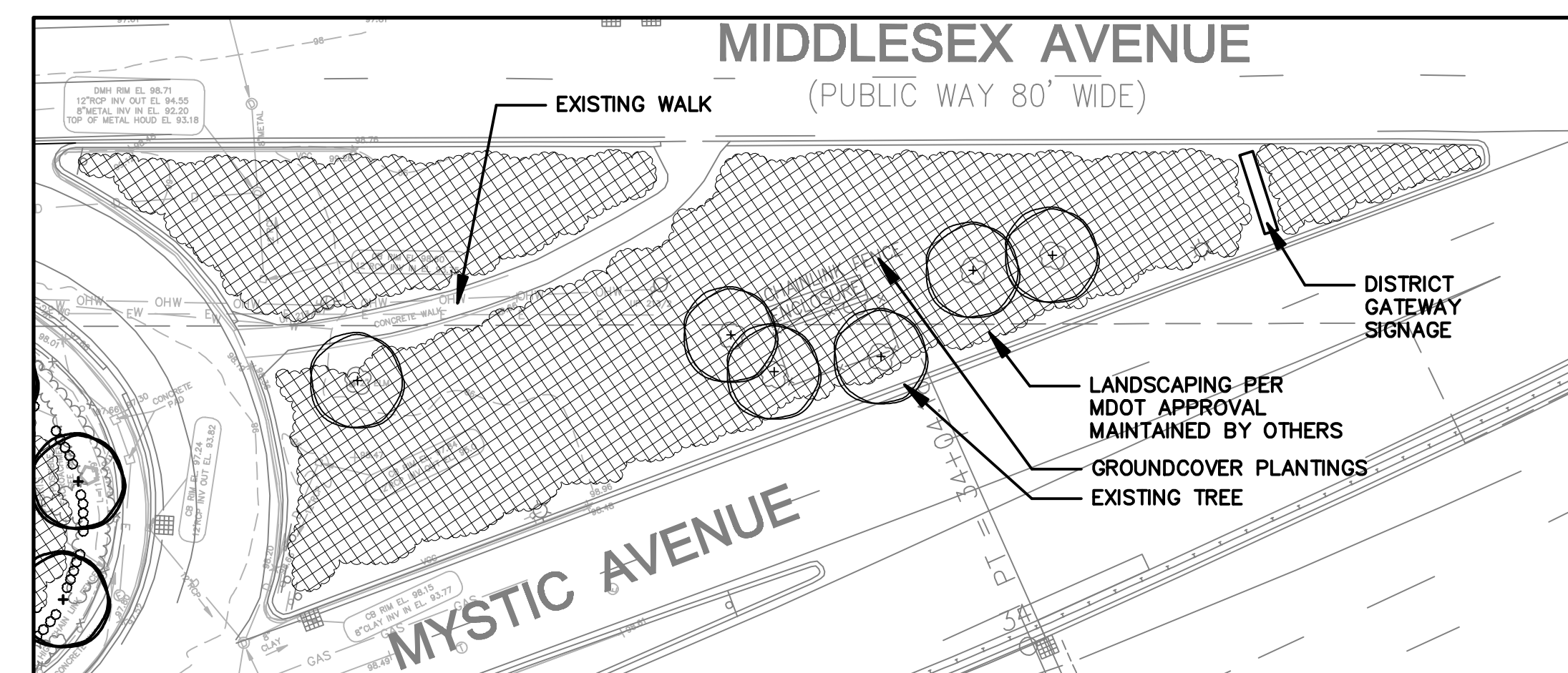
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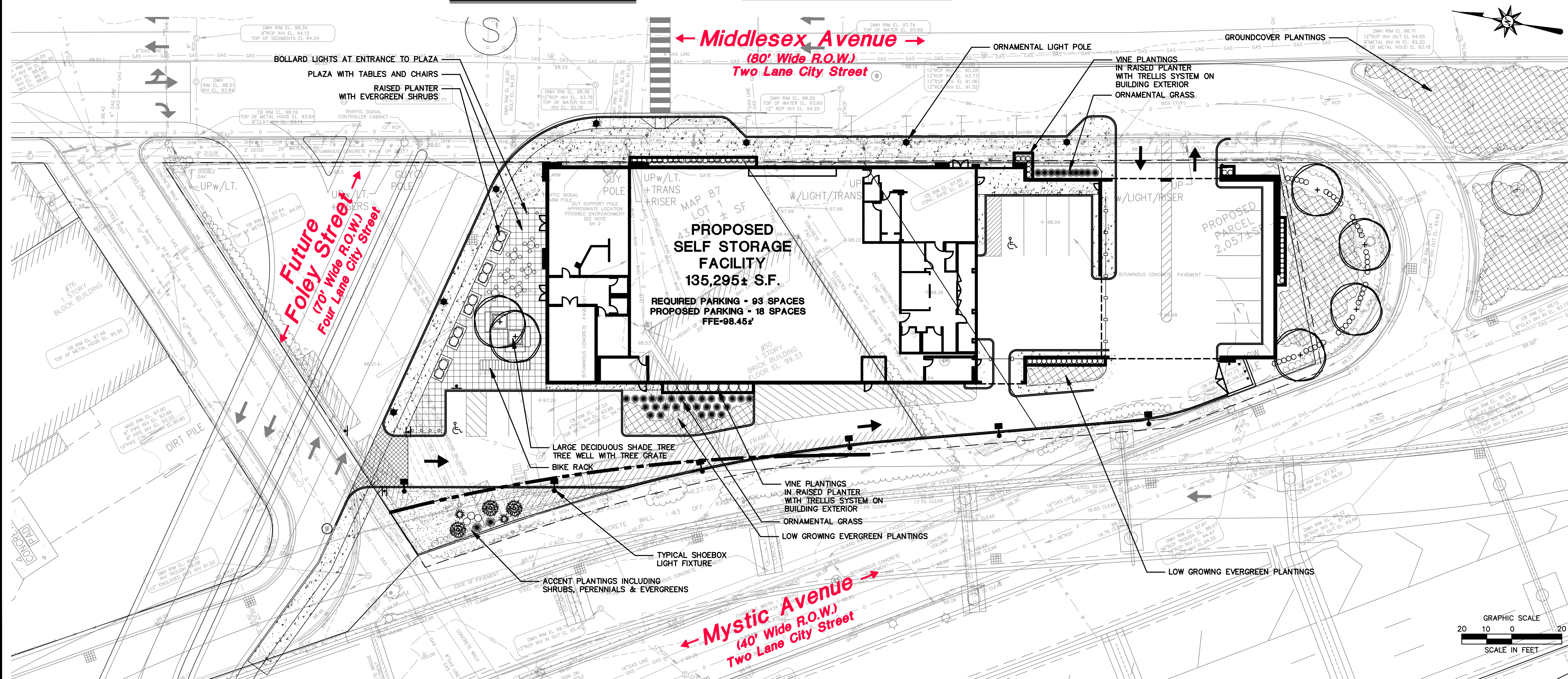
RAISED PLANTERS



GROUNDCOVER



GATEWAY SIGNAGE AT INTERSECTION OF MIDDLESEX AVENUE AND MYSTIC AVENUE

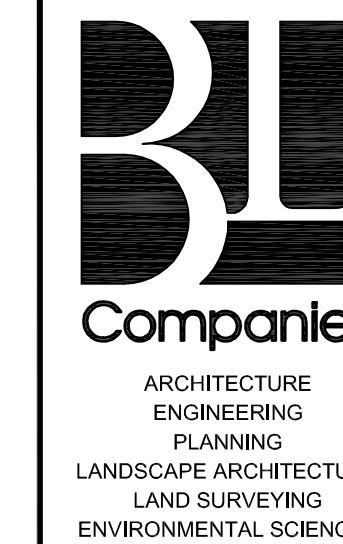
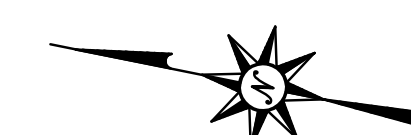


AREA #	OPEN SPACE SQUARE FOOTAGE AREA
1	12,125 S.F.
2	1,212 S.F.
3	1,153 S.F.
4	1,097 S.F.
5	483 S.F.
6	228 S.F.
7	126 S.F.

TOTAL SITE AREA	49,147 S.F.
25% OPEN SPACE AREA REQUIRED	12,287 S.F.
TOTAL OPEN SPACE AREA PROVIDED	16,424 S.F.
% OPEN SPACE AREA PROVIDED	33.42%

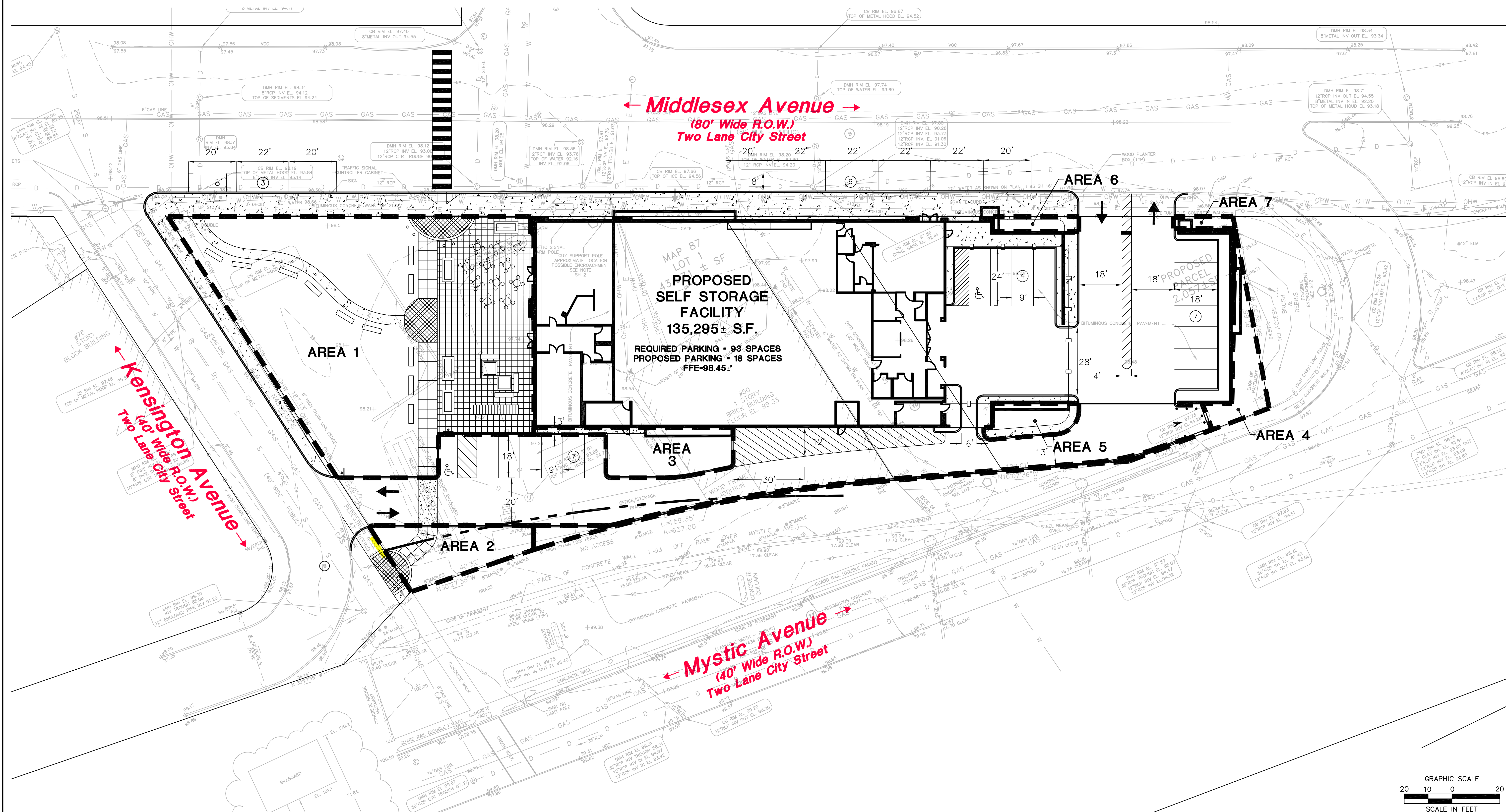
AREA #	OPEN SPACE SQUARE FOOTAGE AREA
1	12,125 S.F.
2	1,212 S.F.
6	228 S.F.
7	126 S.F.

TOTAL SITE AREA	49,147 S.F.
12.5% USEABLE OPEN SPACE AREA REQUIRED	6,143 S.F.
TOTAL USEABLE OPEN SPACE AREA PROVIDED	13,691 S.F.
% USEABLE OPEN SPACE AREA PROVIDED	27.86%



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax

PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY



REV	REVISIONS		Desc.
	No.	Date	
	Designed		A.B.U.
	Drawn		A.B.U.
	Checked		
	Approved		
	Scale	1"= 30'	
	Project No.	08C29780	
	Date	2/7/11	
CAD File: 0808C297801			
Title			
OPEN SPACE REQUIREMENT PLAN			
Sheet No.			
OS-1			

Feb 09, 2011 5:00pm AULlusi K: \Jobs08\08C2978\Dwg\OS08C297801.dwg

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OPEN SPACE REQUIREMENT

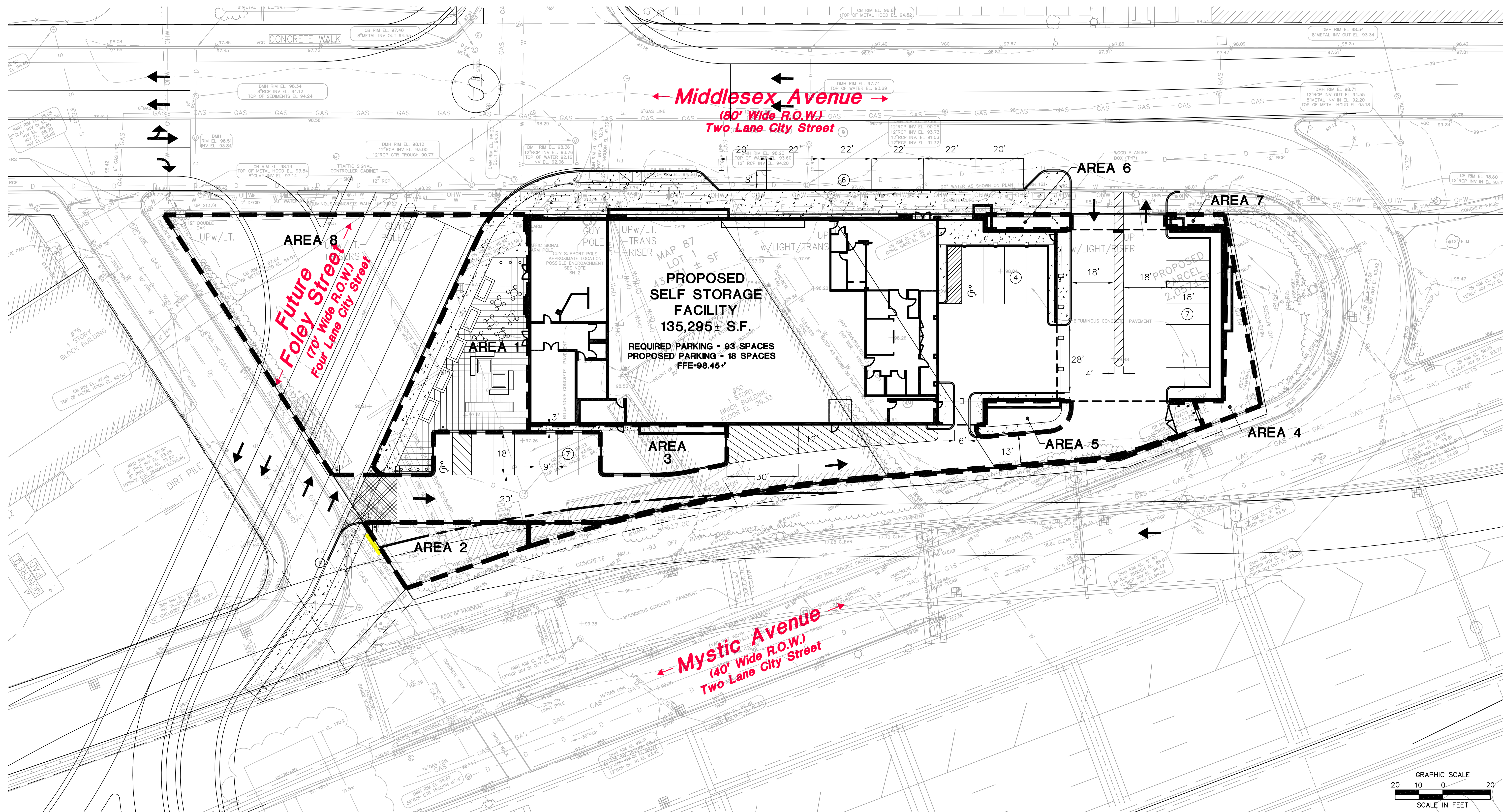
AREA #	OPEN SPACE SQUARE FOOTAGE AREA
1	3,820 S.F.
2	1,212 S.F.
3	1,153 S.F.
4	1,097 S.F.
5	483 S.F.
6	228 S.F.
7	126 S.F.
8	8,305 S.F.

TOTAL SITE AREA	49,147 S.F.
25% OPEN SPACE AREA REQUIRED	12,287 S.F.
TOTAL OPEN SPACE AREA PROVIDED	16,424 S.F.
% OPEN SPACE AREA PROVIDED	33.42%

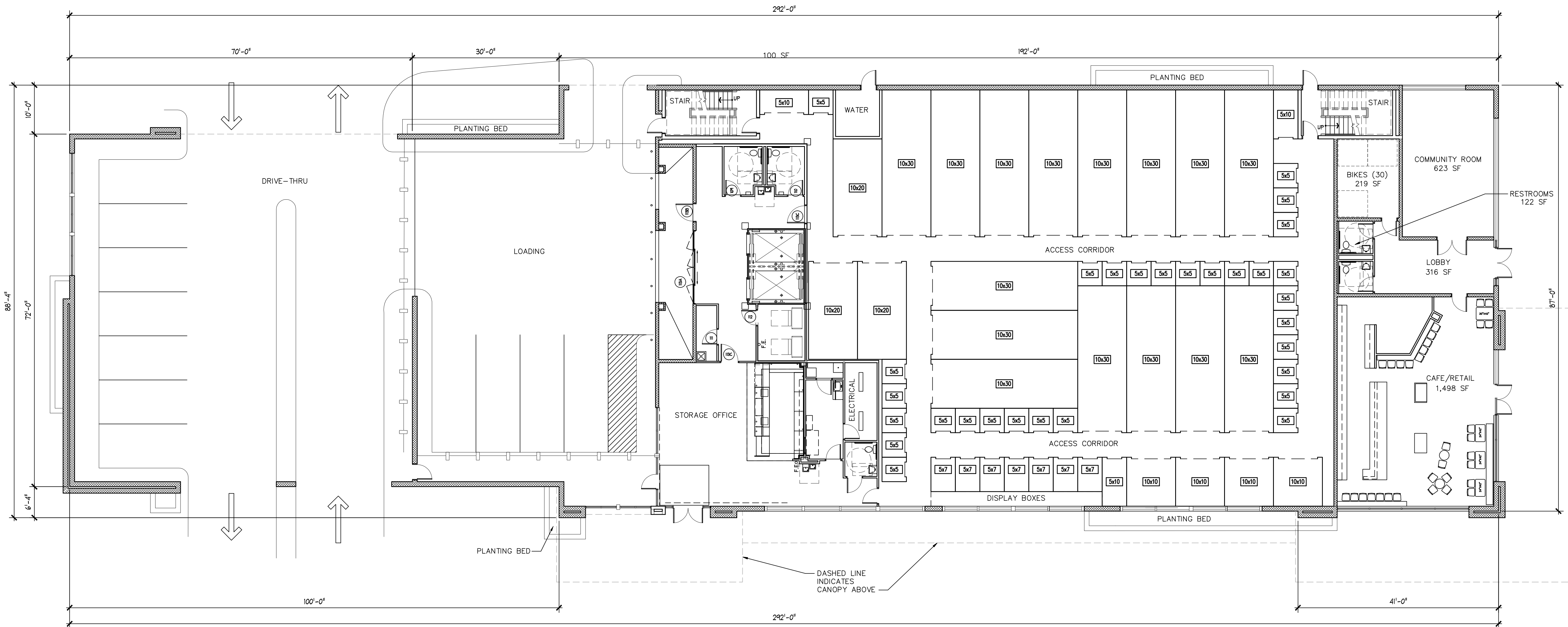
USEABLE OPEN SPACE REQUIREMENT

AREA #	OPEN SPACE SQUARE FOOTAGE AREA
1	3,820 S.F.
2	1,212 S.F.
6	228 S.F.
7	126 S.F.
8	8,305 S.F.

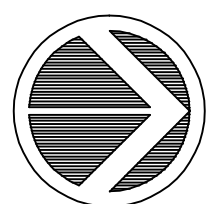
TOTAL SITE AREA	49,147 S.F.
12.5% USEABLE OPEN SPACE AREA REQUIRED	6,143 S.F.
TOTAL USEABLE OPEN SPACE AREA PROVIDED	13,691 S.F.
% USEABLE OPEN SPACE AREA PROVIDED	27.86%



Feb 07 2:21 5:08pm jblowers K:\Jobs\08C2978\Arch\A08C2978101.dwg
Lynette ALOI



1 FIRST FLOOR PLAN
3/32" = 1'-0"



PLAN NORTH



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS
No. Date Desc.

Designed AEG
Drawn JMB
Checked
Approved
Scale
Project No. 08C2978
Date 2/7/11

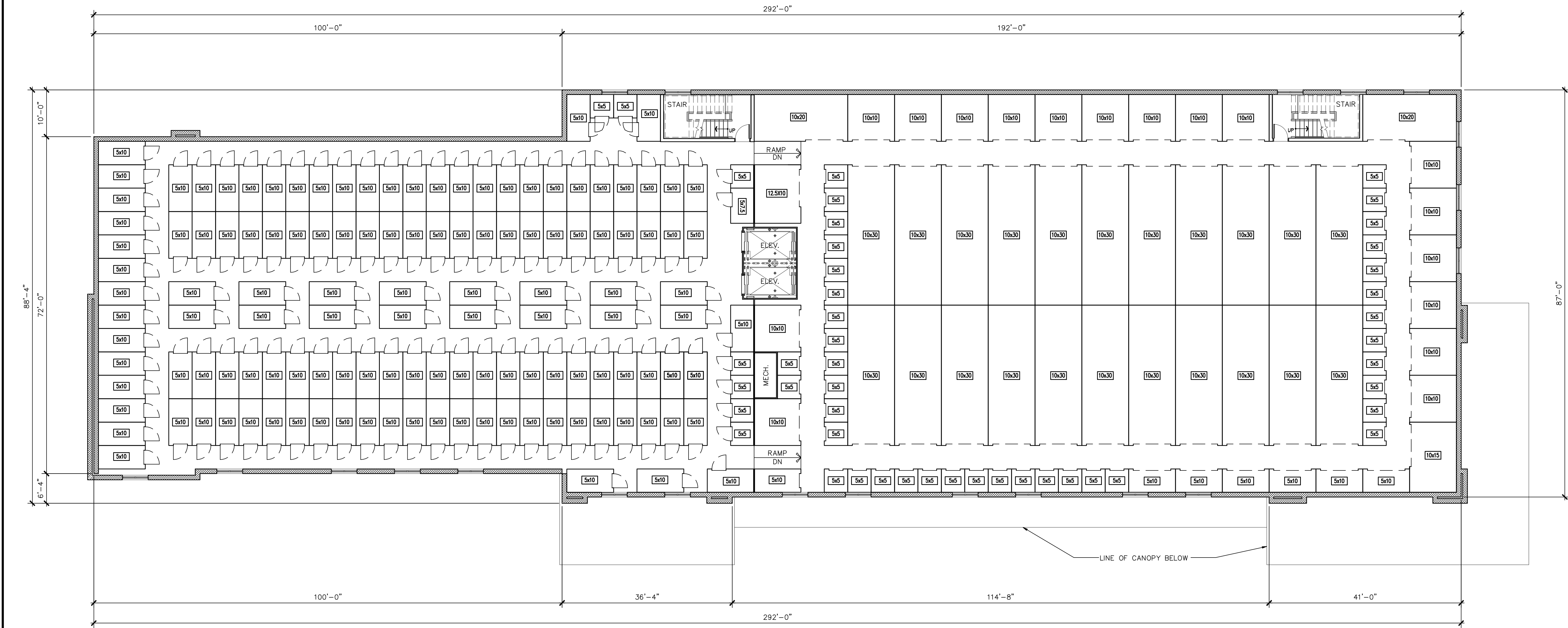
CAD File:
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Title
**FIRST FLOOR
PLAN**

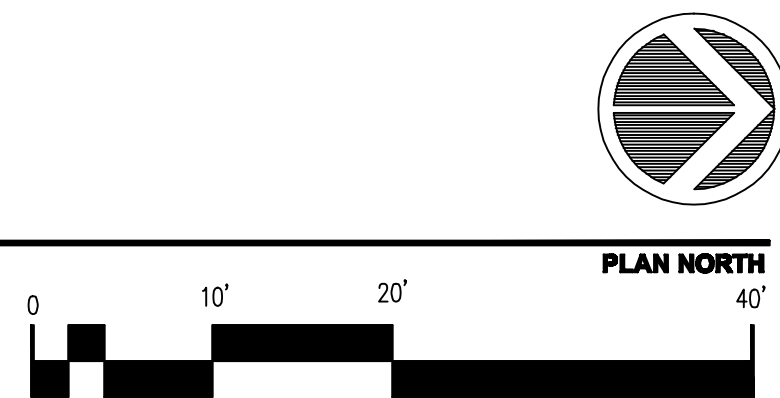
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L:\p\bl\A102



1 SECOND FLOOR PLAN
3/32" = 1'-0"



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS
No. Date Desc.

Designed AEG
Drawn JMB
Checked
Approved
Scale
Project No. 08C2978
Date 2/7/11

CAD File:
A08C2978102

TITLE
**SECOND FLOOR
PLAN**

Sheet No.

A1.02



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

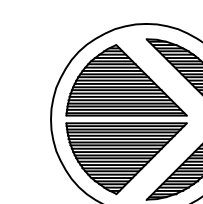
REVISIONS		Desc.
No.	Date	
Designed		AGE
Drawn		JMB
Checked		
Approved		
Scale		
Project No.		08C2978
Date		2/7/11
CAD File:		
A08C2978I03		
Title		
THIRD FLOOR		
PLAN		

Sheet No.

A1.03



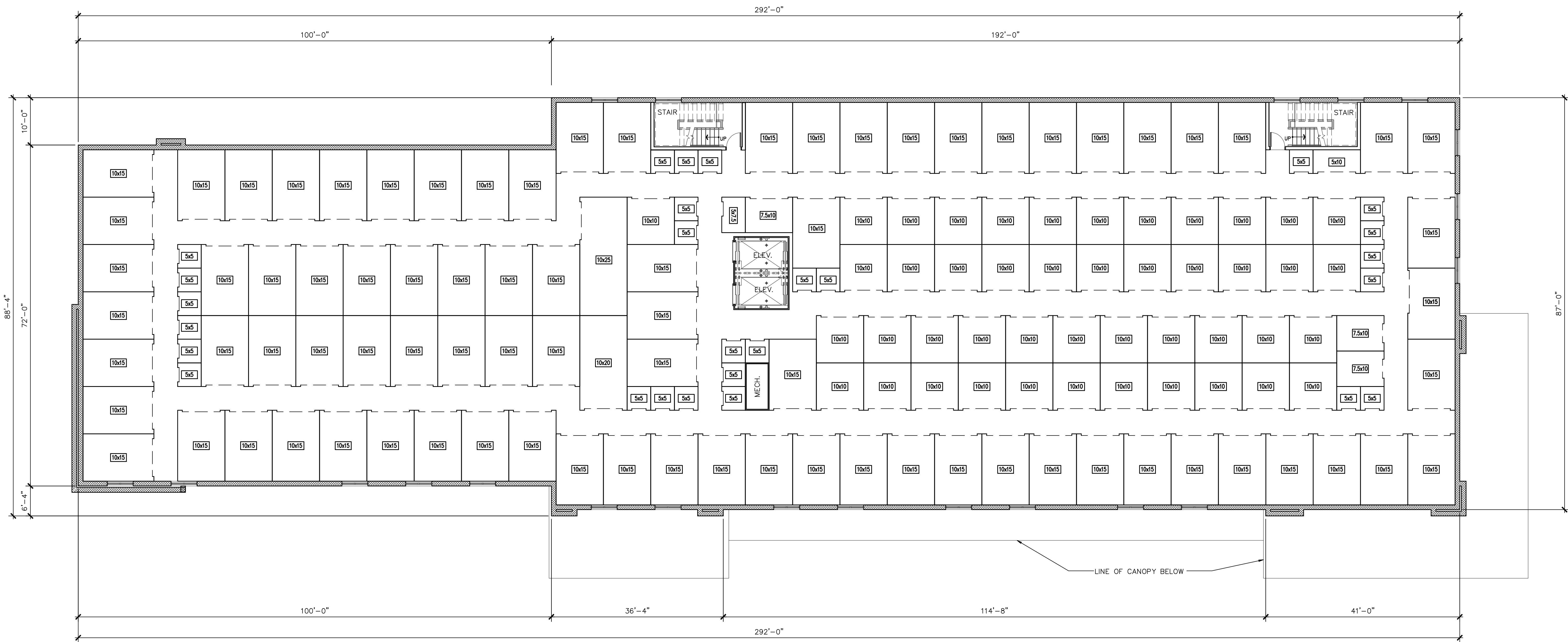
1 THIRD FLOOR PLAN



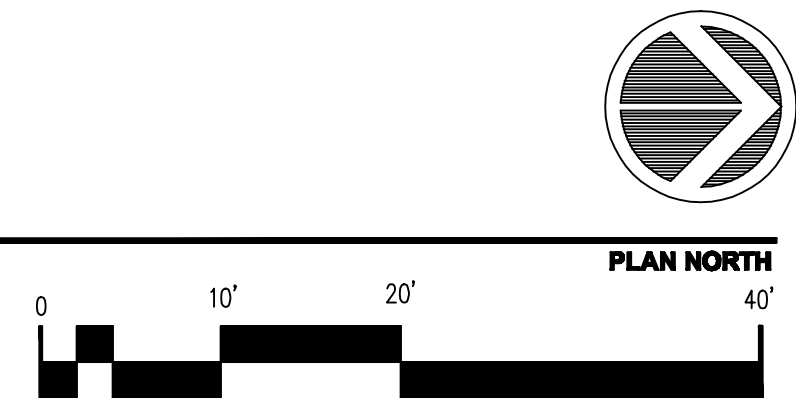
PLAN NORTH



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1 FOURTH FLOOR PLAN
3/32" = 1'-0"



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS
No. Date Desc.

Designed AEG
Drawn JMB
Checked
Approved
Scale
Project No. 08C2978
Date 2/7/11
CAD File: A08C2978104

Title
FOURTH FLOOR PLAN

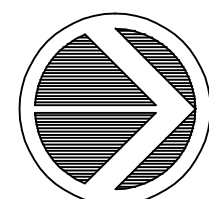
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Layout: A105



1 FIFTH FLOOR PLAN
3/32" = 1'-0"



PLAN NORTH



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS
No. Date Desc.

Designed AEG
Drawn JMB
Checked
Approved
Scale
Project No. 08C2978
Date 2/7/11
CAD File: A08C2978105

Title
FIFTH FLOOR PLAN

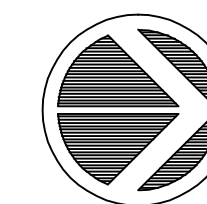
Sheet No.

A1.05

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L:\p\jbl\A08C2978106.dwg



1 SIXTH FLOOR PLAN
3/32" = 1'-0"



PLAN NORTH



PROPOSED SELF-STORAGE BUILDING
50 MIDDLESEX AVENUE
SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY

REVISIONS
No. Date Desc.

Designed AEG
Drawn JMB
Checked
Approved
Scale
Project No. 08C2978
Date 2/7/11

CAD File:
A08C2978106

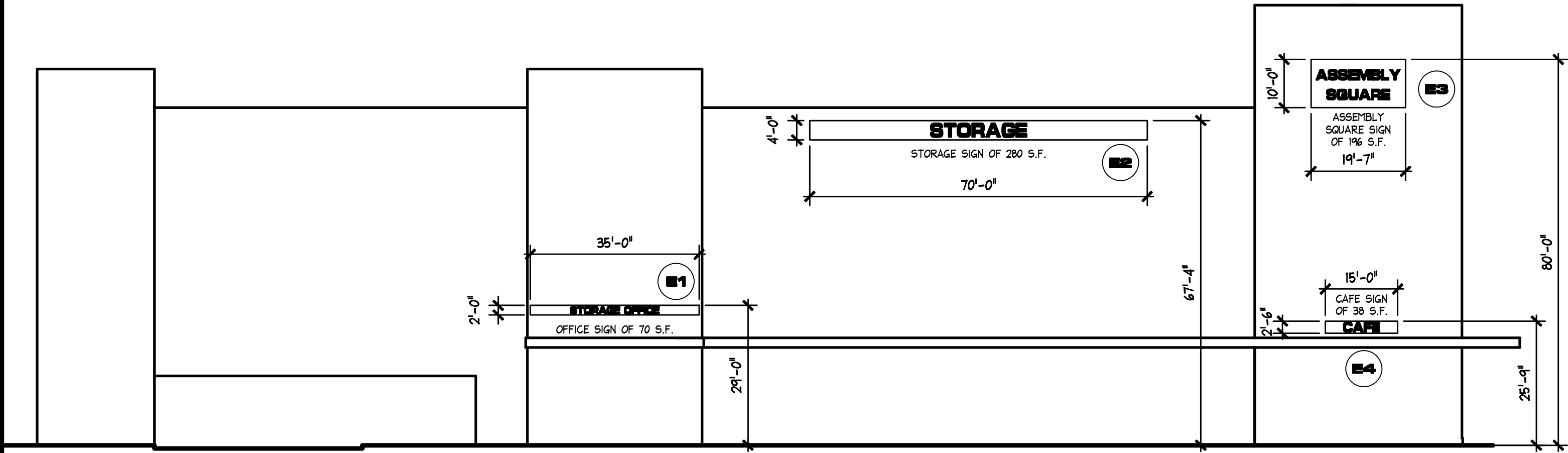
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**SIXTH FLOOR
PLAN**

Sheet No.

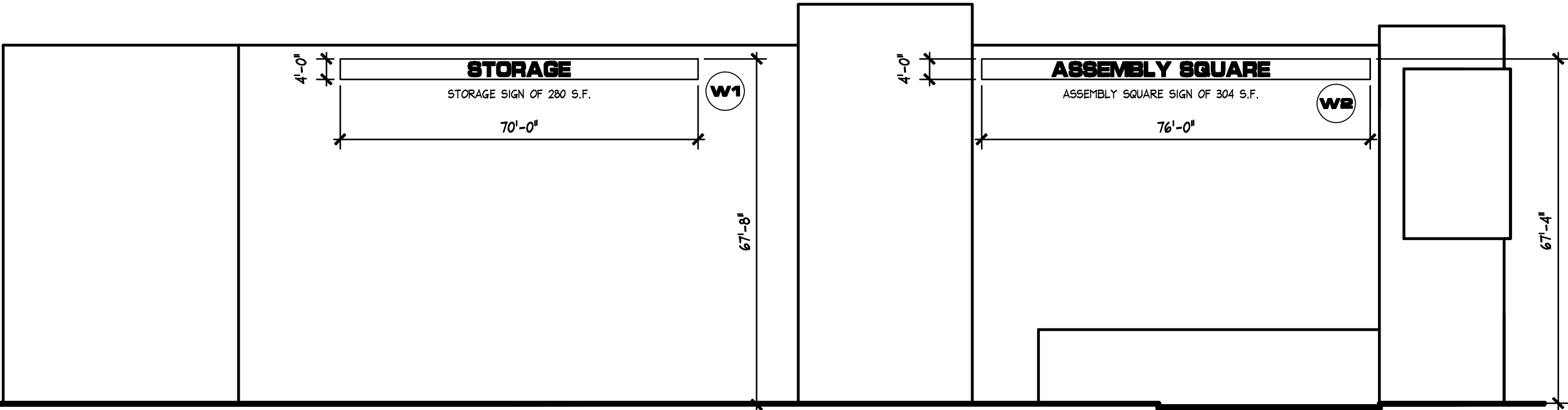
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Xref (s): : B08C297801 : XA08C297805

Feb 07 2011 5:43pm jblowers K:\Jobs\08\08C29780\Arch\XV08C29780.dwg
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1 EAST ELEVATION - SIGNAGE
1"=20'-0"



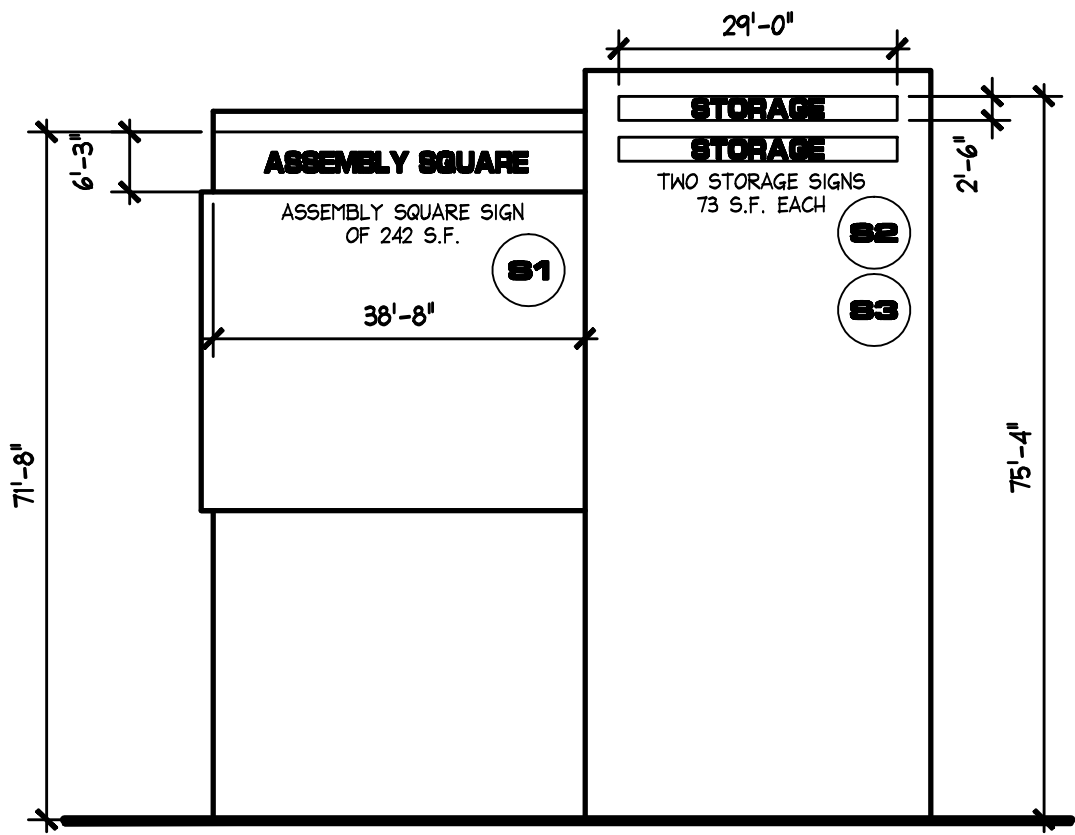
3 WEST ELEVATION - SIGNAGE
1"=20'-0"

SIGN INFORMATION

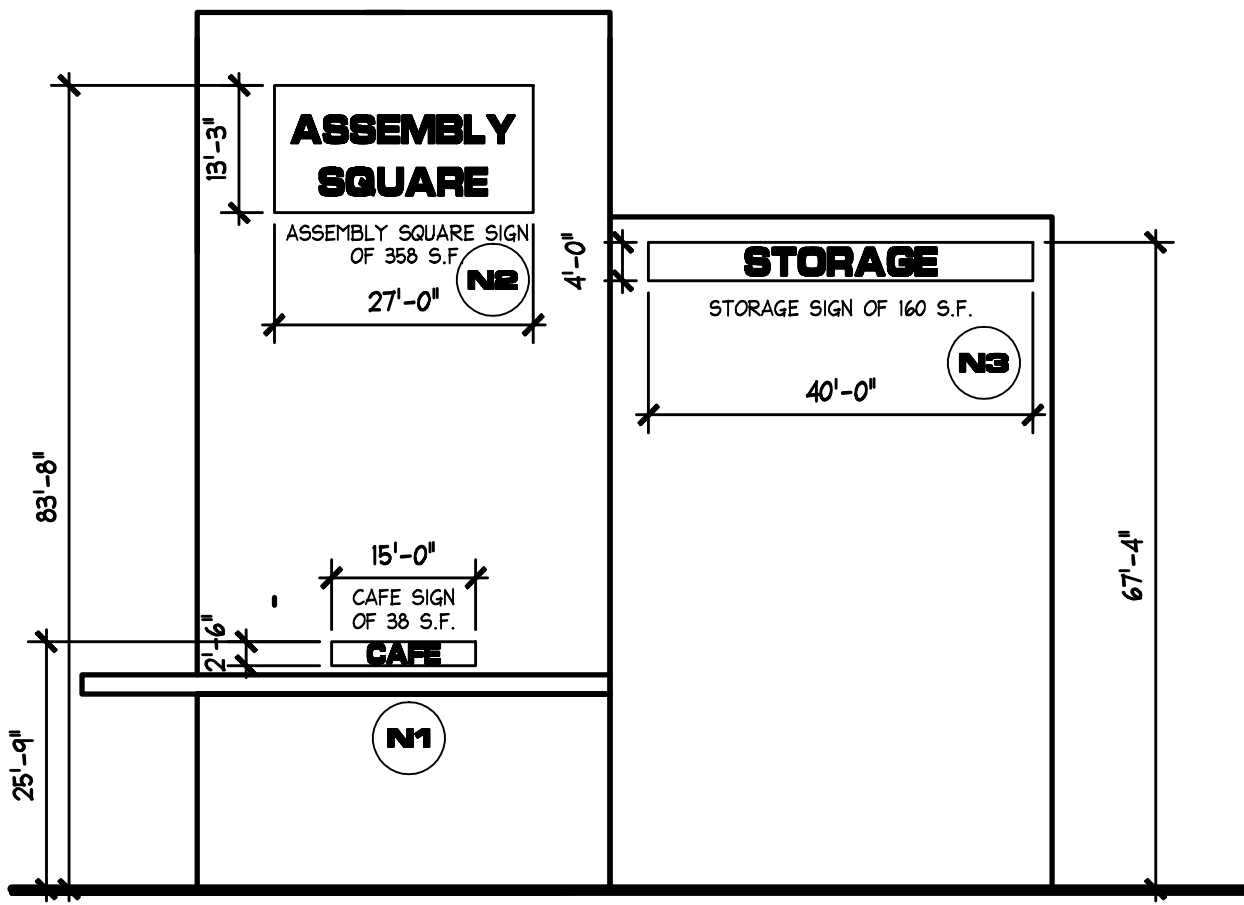
ITEM #	ITEM	REQUIREMENTS	PROPOSED	WAIVER
1	MAX. FREESTANDING SIGN AREA MAX. FREESTANDING SIGN HEIGHT	250 S.F. PER SIDE* (500 S.F.) 30 FEET ABOVE GRADE	N/A	N/A
2	MAXIMUM WALL SIGN HEIGHT	25 FEET	VARIES	YES
3	MAX. WALL SIGN AREA	THE LENGTH OF THE BUILDING ALONG A PUBLIC WAY. THE TOTAL AREA SHALL NOT EXCEED FRONTAGE MULTIPLIED BY THE APPROPRIATE FACTOR FROM TABLE IN SECTION 12.4.4 d	N/A	N/A
	NORTH ELEVATION	88 FEET FRONTAGE x 3 264 SF ALLOWED	556 SF	WAIVER FOR DISTRICT IDENTIFICATION SIGN - NOT RELATED TO BUILDING USE
	SOUTH ELEVATION	73 FEET FRONTAGE x 2 146 SF ALLOWED	388 SF	WAIVER FOR DISTRICT IDENTIFICATION SIGN - NOT RELATED TO BUILDING USE
	EAST ELEVATION	292 FEET FRONTAGE x 2 584 SF ALLOWED	584 SF	NO
	WEST ELEVATION	292 FEET FRONTAGE x 2 584 SF ALLOWED	584 SF	NO

* SECTION 12.4.1 a 2 ALLOWS FOR TWO TIMES THE FREE-STANDING SIGN AREA OTHERWISE
PERMITTED BASED ON THE PROPERTY'S STREET LINE (OVER 200 FEET)

SIGN	DESCRIPTION	DIMENSIONS	AREA
N1	CAFE SIGN - NORTH ELEVATION	2'-6" x 15'-0"	38 SF
N2	ASSEMBLY SQUARE SIGN - NORTH ELEVATION	13'-3" x 27'-0"	358 SF
N3	STORAGE SIGN - NORTH ELEVATION	4'-0" x 40'-0"	160 SF
NORTH ELEVATION TOTAL:			556 SF
S1	ASSEMBLY SQUARE SIGN - SOUTH ELEVATION	6'-3" x 38'-8"	242 SF
S2	STORAGE SIGN - SOUTH ELEVATION	2'-6" x 29'-0"	73 SF
S3	STORAGE SIGN - SOUTH ELEVATION	2'-6" x 29'-0"	73 SF
SOUTH ELEVATION TOTAL:			388 SF
E1	STORAGE OFFICE SIGN - EAST ELEVATION	2'-0" x 35'-0"	70 SF
E2	STORAGE SIGN - EAST ELEVATION	4'-0" x 70'-0"	280 SF
E3	ASSEMBLY SQUARE SIGN - EAST ELEVATION	10'-0" x 19'-7"	196 SF
E4	CAFE SIGN - EAST ELEVATION	2'-6" x 15'-0"	38 SF
EAST ELEVATION TOTAL:			584 SF
W1	STORAGE SIGN - WEST ELEVATION	4'-0" x 70'-0"	280 SF
W2	ASSEMBLY SQUARE SIGN - WEST ELEVATION	4'-0" x 76'-0"	304 SF
WEST ELEVATION TOTAL:			584 SF



2 SOUTH ELEVATION - SIGNAGE
1"=20'-0"



4 NORTH ELEVATION - SIGNAGE
1"=20'-0"

